# Flood resistant homes

## Keeping the water at bay

Properties situated near rivers or by the sea are naturally at-risk from flooding. The Coastal Partnership, the Environment Agency and other organisations work together to try and minimise those risks but, unfortunately sometimes the measures in place are not enough. Flood damage can be very expensive and is always inconvenient.

Home owners are responsible for the protection of their own property. People who live in areas where flooding can occur should consider additional methods to protect their homes. Steps can be taken to help to reduce the impact of flooding.

Flood resistance measures are designed to reduce the risk of water entering the property, whilst flood resilience measures should help to limit the water damage, speed up drying times and allow re-occupation of the property. (See the board: Flood resilient homes)

Most flood resistance/protection measures work best for shallower, shorter duration flooding (up-to 1 metre deep). If deeper floods of longer duration occur, it can be better to allow water to enter the home to avoid serious structural damage caused by water pressure.

The diagram shows some simple, and more expensive and elaborate methods that could be used to increase your home's flood resistance.

Whichever method you choose, be sure to go for a product that carries the British Standard Kite Mark

Sandbags are the quickest and easiest method of protecting your property. Make sure you keep a good supply of sandbags ready for use when required.

Sandbags and sand are available from all good builders merchants and they are usually sold separately. Some companies will deliver but make sure you buy them well in advance of when they might be needed. Carrier bags or pillow cases filled with soil can do the same job in the short term.

The council do not supply sandbags, it is the property owners responsibility to protect their property.

Sandbags only have a limited life-span so it's worth considering other methods of protection.

# Do it right

Before you carry out any kind of flood resilience measures we recommend that you have your home surveyed to identify which are the most appropriate

- Risk type and depth of flooding
- Construction of the property
- Local geology

For further advice on flood resilience www.environment-agency.gov.uk

## How the water gets in!

- Around doors and windows
- Through air bricks and air vents
- Back flow through sewerage pipes, drains and manholes. This includes toilets, sinks, washing machine and dishwasher.
- Up through the ground, if it is porous like chalk and the flooding is prolonged.
- Seepage through cracks, holes and spaces in walls or frames that have not been sealed.

## Toilets, sinks, baths, showers

and waste pipes

Use a toilet bung. Place plugs in sinks and hold down with sandbags. Seal-off overflows and waste pipes to washing machines and dishwasher.

Walls and floors Raise the level of the damp proof brick course. Waterproof floors with suitable sealant.

#### Flood barriers

**House skirts** 

#### Air bricks and vents



#### A system that literally wraps

around the base of your property to make it watertight.



### Water resistant sealants

Use silicon sealants around doors and window frames. Paint-on sealants can be used on brickwork and other porous material to prevent water penetrating.

Flood barriers

#### One-way valves Pump & Sump Install a system to

Fit non-return valves to water outlet pipes, to prevent sewage backing-up into the property.

#### Flood barriers

### **Bund or dams**



working together - protecting our coastline

keep flood water

levels low

