

Flood resistant homes

Keeping the water at bay

Properties situated near rivers or by the sea are naturally at-risk from flooding. The Coastal Partnership, the Environment Agency and other organisations work together to try and minimise those risks but, unfortunately sometimes the measures in place are not enough. Flood damage can be very expensive and is always inconvenient.

Home owners are responsible for the protection of their own property. People who live in areas where flooding can occur should consider additional methods to protect their homes. Steps can be taken to help to reduce the impact of flooding.

Flood resistance measures are designed to reduce the risk of water entering the property, whilst flood resilience measures should help to limit the water damage, speed up drying times and allow re-occupation of the property. (See the board: Flood resilient homes)

Most flood resistance/protection measures work best for shallower, shorter duration flooding (up-to 1 metre deep). If deeper floods of longer duration occur, it can be better to allow water to enter the home to avoid serious structural damage caused by water pressure.

The diagram shows some simple, and more expensive and elaborate methods that could be used to increase your home's flood resistance.

Whichever method you choose, be sure to go for a product that carries the British Standard Kite Mark.

Do it right

Before you carry out any kind of flood resilience measures we recommend that you have your home surveyed to identify which are the most appropriate for your property.

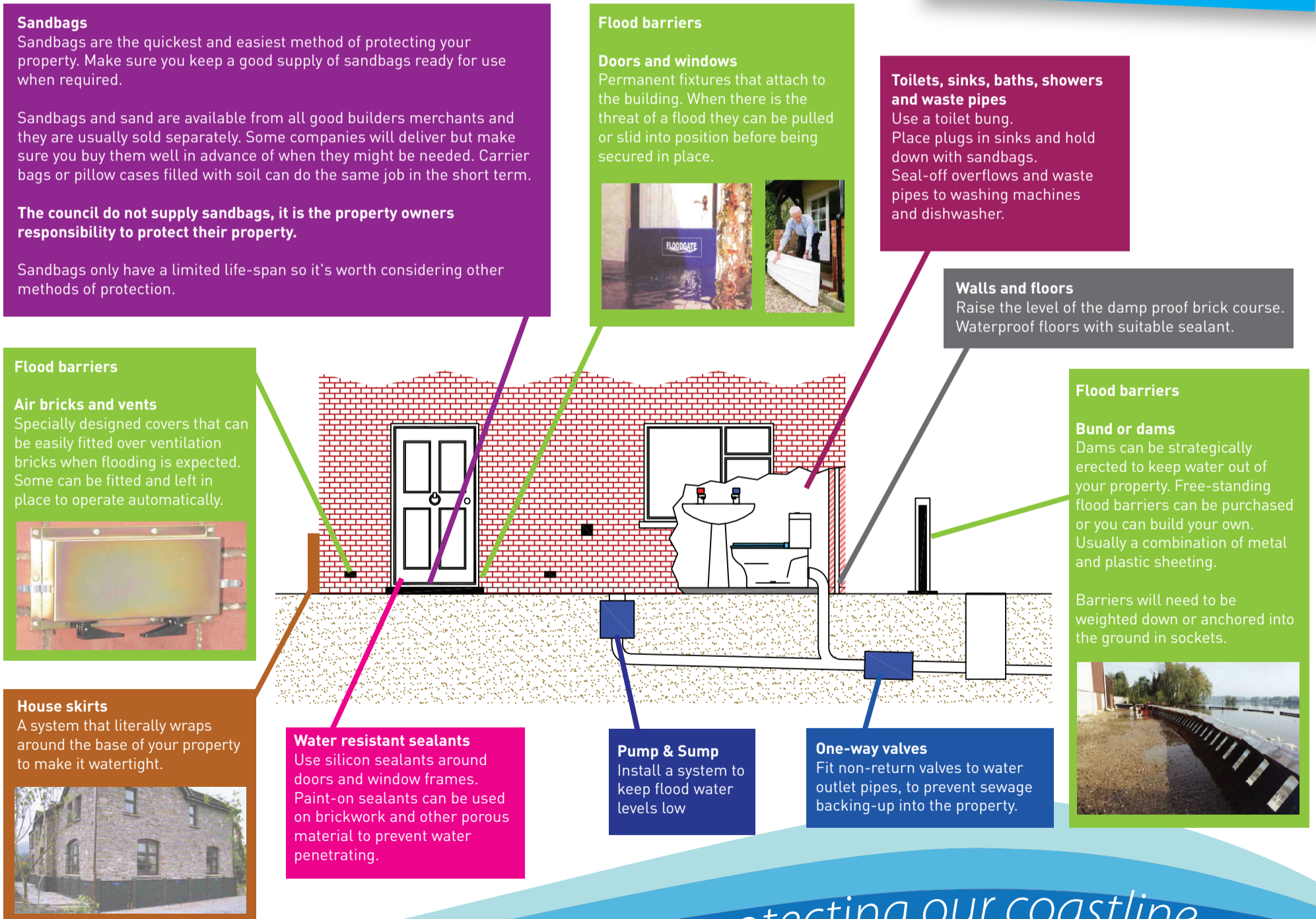
A survey will consider:

- Risk type and depth of flooding
- Construction of the property
- Local geology

For further advice on flood resilience
www.environment-agency.gov.uk

How the water gets in!

- Around doors and windows
- Through air bricks and air vents
- Back flow through sewerage pipes, drains and manholes. This includes toilets, sinks, washing machine and dishwasher.
- Up through the ground, if it is porous like chalk and the flooding is prolonged.
- Seepage through cracks, holes and spaces in walls or frames that have not been sealed.



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